

# FOR SALE // 12-14 STONY HILL RD, BETHEL CT



## PROPERTY DESCRIPTION

Iconic opportunity to own and operate a well-established turnkey Diner business and real estate! Freestanding building on 1.34 acres with 332 FT. of road frontage on RT. 6 with outstanding parking! This 30 year old establishment has been well maintained. Many improvements have been made over the years. The local area is exploding with new developments including 115 apartments, 137 apartments and 22 single family homes!! The owner will consider seller financing for a qualified buyer.

## PROPERTY HIGHLIGHTS

- Traffic Count – 16,800 cars per day
- Utilities – City water, sewer, and gas
- +/- 63 car parking (with land to expand if needed)
- Fully equipped kitchen
- 110 seat dining area
- New roof
- New Gas boiler
- Newer black top parking lot
- Newer indoor and outdoor LED lighting
- Two new AC units
- Large freestanding lit pole sign

## OFFERING SUMMARY

Sale Price:	\$2,200,000
Building Size:	2,964 SF
Property Taxes:	\$17,354 Annually

DEMOGRAPHICS	2.5 MILES	3 MILES	4.5 MILES
Total Households	11,563	18,344	38,947
Total Population	29,764	47,649	99,746
Average HH Income	\$102,532	\$98,427	\$95,008


**MICK CONSALVO**
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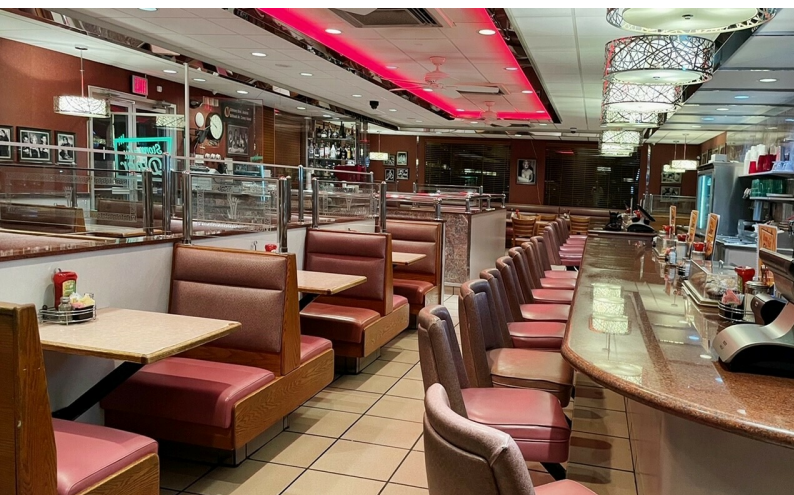
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## FOR SALE // 12-14 STONY HILL RD, BETHEL CT

**12- 14 Stony Hill Road, Bethel CT**

**Stony Hill Diner**

- New Flat Top Griddle
- New Ice Machine
- 2 New Sandwich Coolers
- Updated Dining Room
- Micros Oracle POS
- 3 Walk in Coolers
- 2 Walk in Freezers
- 3 Hoods
- Pizza Oven
- Owns All Equipment
- Strong Staff in Place
- \$2mm in Gross sales



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EMIL GARELLA

BLACKSTONE INDUSTRIES INC.

REF. TO MAP 15 FILE 6 OF THE B.L.R.

CONV. GRID NORTH

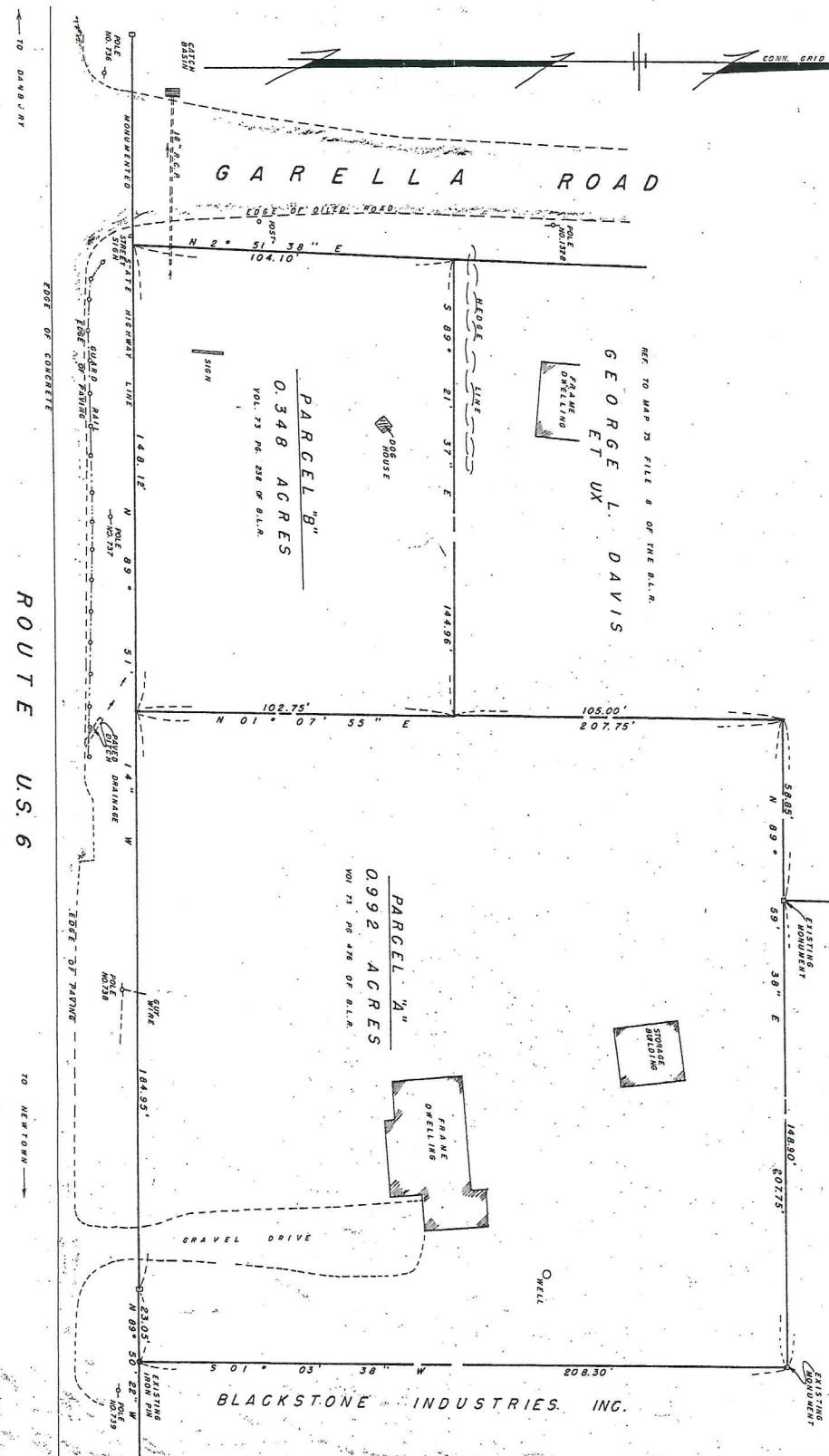
GARELLA ROAD

REF. TO MAP 75 FILE 8 OF THE B.L.R.  
GEORGE L. DAVIS  
ET UX

PARCEL "B"  
0.348 ACRES  
VOL. 73 PG. 208 OF B.L.R.

PARCEL "A"  
0.992 ACRES  
VOL. 73 PG. 216 OF B.L.R.

BLACKSTONE INDUSTRIES, INC.



MAP SHOWING PROPERTY OF

LOUIS KATZ

ROUTE U.S. 6

BETHEL, CONNECTICUT

SCALE 1" = 20'

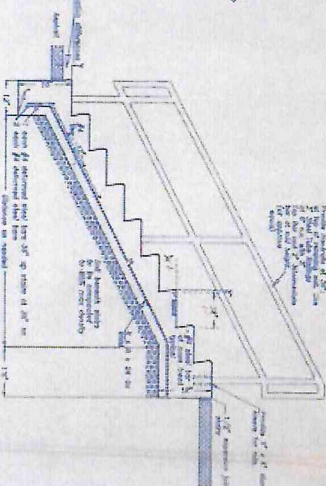
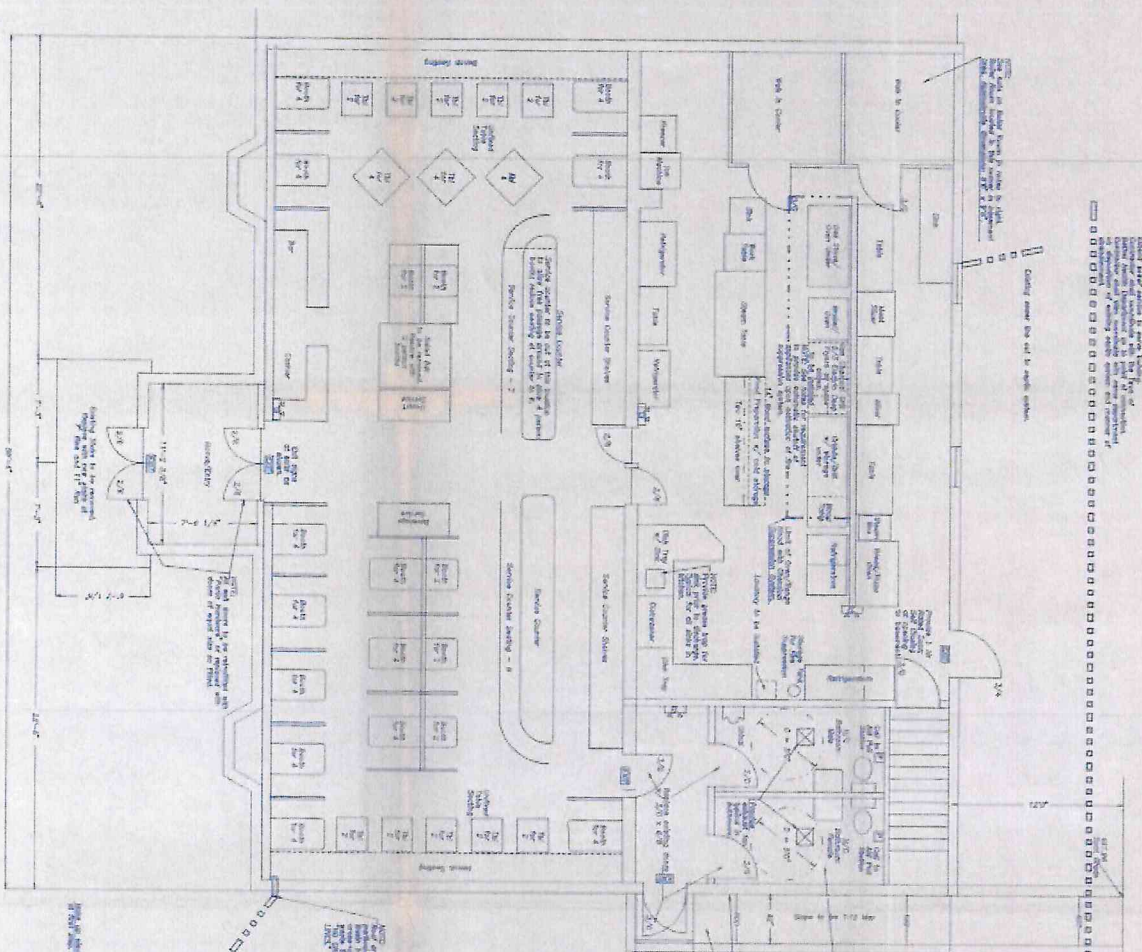
I HEREBY CERTIFY THIS MAP TO BE  
SUBSTANTIALLY CORRECT AND IN ACCORDANCE  
WITH THE ACTS OF THE LEGISLATURE OF THE  
STATE OF CONNECTICUT, AND THE  
TECHNICAL COUNCIL, INC.

*John A. Connors*

STREET A. ROAD OR R.L.S. NO. 7100







- ### NOTES
1. General notes: a. All dimensions are in feet and inches. b. All dimensions are to the center of the line unless otherwise noted. c. All dimensions are to the finished surface unless otherwise noted. d. All dimensions are to the exterior face of the wall unless otherwise noted. e. All dimensions are to the interior face of the wall unless otherwise noted. f. All dimensions are to the center of the pipe unless otherwise noted. g. All dimensions are to the exterior face of the pipe unless otherwise noted. h. All dimensions are to the interior face of the pipe unless otherwise noted. i. All dimensions are to the center of the slab unless otherwise noted. j. All dimensions are to the exterior face of the slab unless otherwise noted. k. All dimensions are to the interior face of the slab unless otherwise noted. l. All dimensions are to the center of the beam unless otherwise noted. m. All dimensions are to the exterior face of the beam unless otherwise noted. n. All dimensions are to the interior face of the beam unless otherwise noted. o. All dimensions are to the center of the column unless otherwise noted. p. All dimensions are to the exterior face of the column unless otherwise noted. q. All dimensions are to the interior face of the column unless otherwise noted. r. All dimensions are to the center of the wall unless otherwise noted. s. All dimensions are to the exterior face of the wall unless otherwise noted. t. All dimensions are to the interior face of the wall unless otherwise noted. u. All dimensions are to the center of the door unless otherwise noted. v. All dimensions are to the exterior face of the door unless otherwise noted. w. All dimensions are to the interior face of the door unless otherwise noted. x. All dimensions are to the center of the window unless otherwise noted. y. All dimensions are to the exterior face of the window unless otherwise noted. z. All dimensions are to the interior face of the window unless otherwise noted.
  2. Foundation notes: a. The foundation is to be constructed of concrete. b. The foundation is to be constructed of masonry. c. The foundation is to be constructed of brick. d. The foundation is to be constructed of stone. e. The foundation is to be constructed of other materials as approved by the engineer.
  3. Basement notes: a. The basement is to be finished with a minimum of 4" of concrete. b. The basement is to be finished with a minimum of 6" of masonry. c. The basement is to be finished with a minimum of 8" of brick. d. The basement is to be finished with a minimum of 10" of stone. e. The basement is to be finished with other materials as approved by the engineer.
  4. General notes: a. The building is to be constructed of concrete. b. The building is to be constructed of masonry. c. The building is to be constructed of brick. d. The building is to be constructed of stone. e. The building is to be constructed of other materials as approved by the engineer.

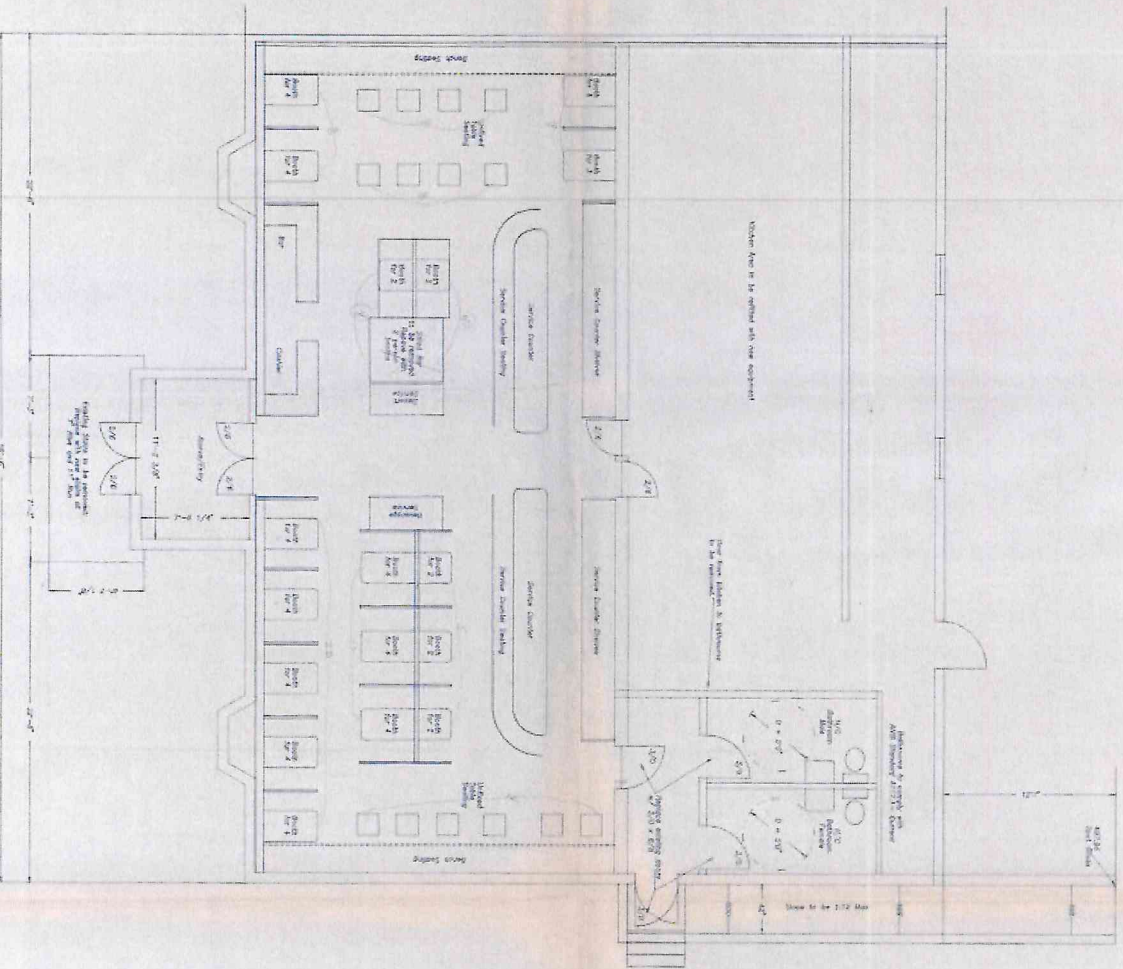
PROJECT:	PROPOSED DINER REPLYING FORMER "HILTOP" DINER
CLIENT:	LEONIDAS "LOUIE" VLAMIS
LOCATION:	STONY HILL ROAD/ROUTE 6 BETHEL, CONNECTICUT
DATE: 06/12/83	SHEET 1 of 1
SCALE: 1/4" = 1'	
HOWARD P. RUBINOW III, P.E. CIVIL ENGINEER P.O. BOX 236 BETHEL, CONNECTICUT 06801 (203)-748-0767	



STONY HILL ROAD (a/k/a Route 6)

Property Line  
Sewer Line

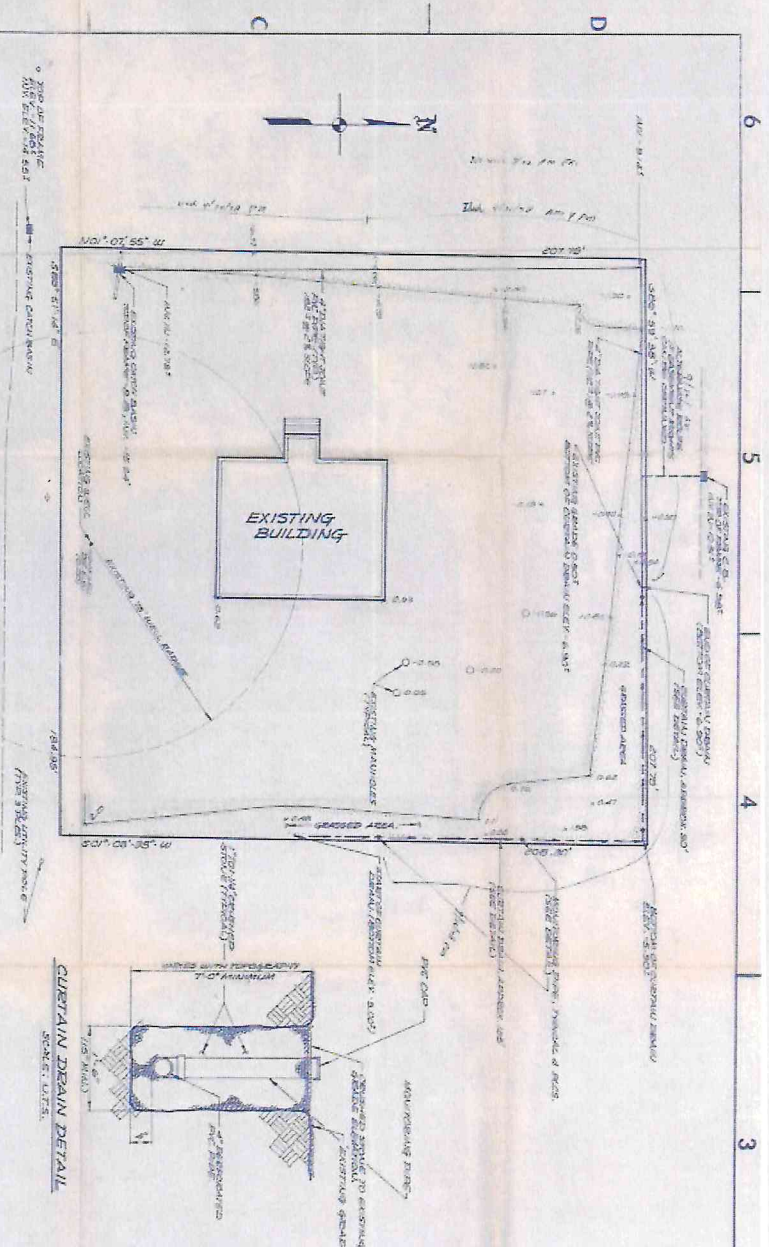




PROJECT:	PROPOSED DINER REFITTING FORMER "HILTOP" DINER
CLIENT:	LEONIDAS "LOUIE" VLAMIS
LOCATION:	SPRING HILL ROAD/ROUTE 8 BETHEL, CONNECTICUT
DATE:	04/26/93
SHEET 1 of 1	SCALE: 1/4" = 1'
HOWARD P. RUBINOW III, P.E. CIVIL ENGINEER P.O. BOX 245 BETHEL, CONNECTICUT 06801 (203)-745-0787	







### SUPPLEMENTARY NOTES

- 1 - PROPERTY LINE DIMENSIONS AND BEARINGS TAKEN FROM MAP PREPARED FOR HILL TOP RESTAURANT BY CIVIL ENGINEER, BUREAU OF LANDS, ALBANY, N.Y.
- 2 - THE PROPERTY LINES ARE TO BE SET BACK FROM THE STATE OF CONSTRUCTION OF THE CURTAIN DEAN.
- 3 - THERE IS NO INTERFERE WITH SEPTIC SYSTEMS OR ADJACENT PROPERTIES.
- 4 - THE CURTAIN DEAN MAY BE RECONSTRUCTED IN THE FUTURE BUT NOT SITE CONSTRUCTION. THE ENVIRONMENT IS TO BE MAINTAINED AS PER ABOVE MAP.

### HILL TOP RESTAURANT - RT. 6 - BETHEL, CT

SCALE: 1/8" = 1'-0"

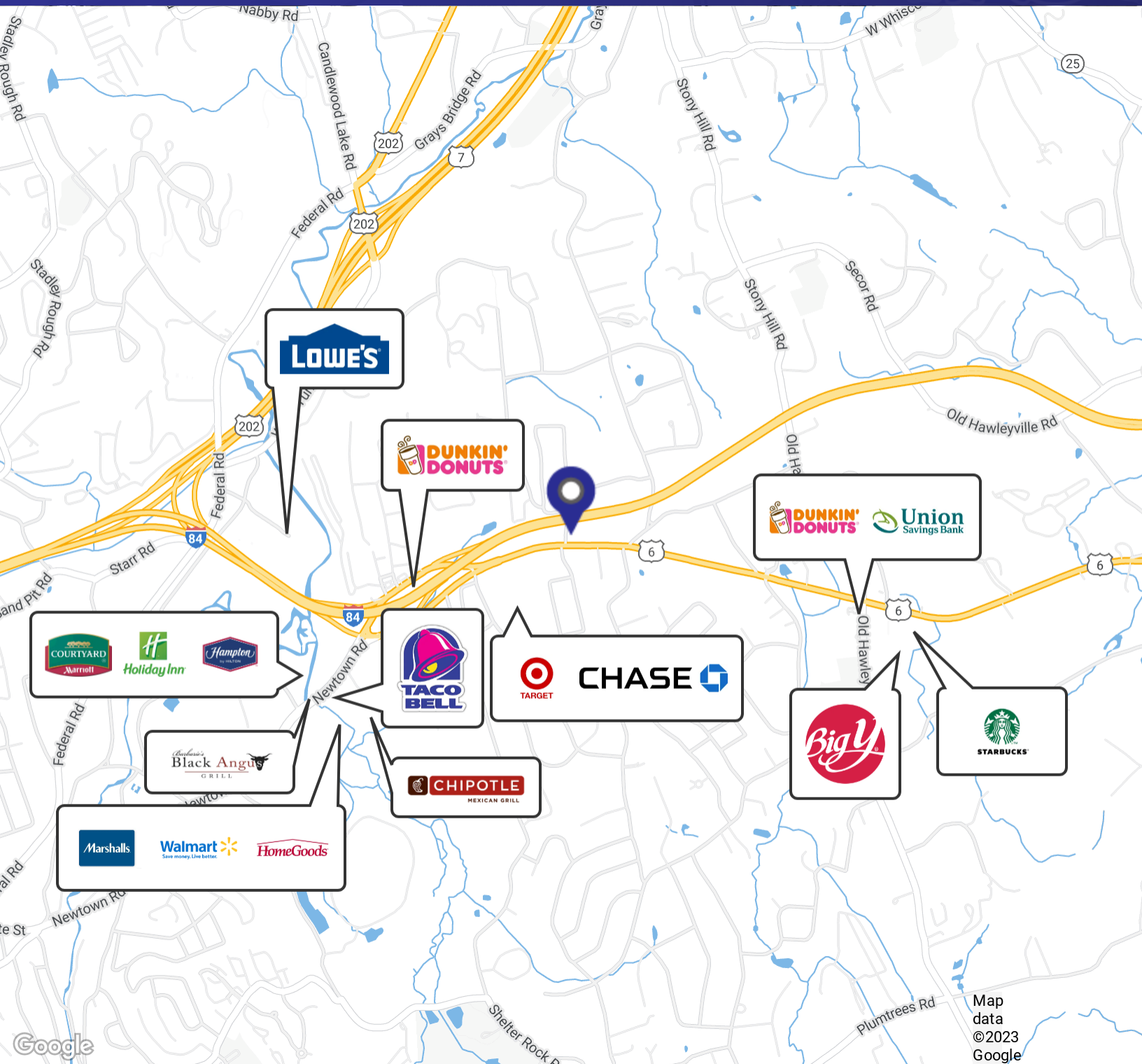
### NOTES:

- 1 - AS A WATER TREATMENT FOR THE EXISTING SEPTIC SYSTEM A CURTAIN DEAN SHALL BE INSTALLED AS SHOWN ON THE SITE PLAN. THE CURTAIN DEAN SHALL BE CONNECTED TO THE EXISTING SEPTIC SYSTEM BY A 12" DIA. PIPE TO THE CURTAIN DEAN. THE CURTAIN DEAN SHALL BE 12" DIA. AND 12' LONG. THE CURTAIN DEAN SHALL BE 12' LONG. THE CURTAIN DEAN SHALL BE 12' LONG.
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- 3 - A WATER TREATMENT FOR THE EXISTING SEPTIC SYSTEM A CURTAIN DEAN SHALL BE INSTALLED AS SHOWN ON THE SITE PLAN. THE CURTAIN DEAN SHALL BE CONNECTED TO THE EXISTING SEPTIC SYSTEM BY A 12" DIA. PIPE TO THE CURTAIN DEAN. THE CURTAIN DEAN SHALL BE 12" DIA. AND 12' LONG. THE CURTAIN DEAN SHALL BE 12' LONG.
- 4 - WATER USE CURTAIN DEAN TO BE INSTALLED ON THE KITCHEN STOVE, WASH BOY, SINK, AND TOILET. THE CURTAIN DEAN SHALL BE 12" DIA. AND 12' LONG. THE CURTAIN DEAN SHALL BE 12' LONG.
- 5 - IT IS THE OWNER'S RESPONSIBILITY TO MAINTAIN THAT NO TOILET, SINK, OR DRAINAGE ARE CONNECTED TO THE SEPTIC SYSTEM.
- 6 - PERIODIC PUMPING AND MAINTENANCE OF THE SEPTIC SYSTEM OVERSEER SHALL BE REQUIRED. THE CURTAIN DEAN SHALL BE 12" DIA. AND 12' LONG. THE CURTAIN DEAN SHALL BE 12' LONG.
- 7 - ALL EXISTING LOCATIONS AND DIMENSIONS ARE FROM SURVEY INFORMATION PREPARED BY BUREAU OF LANDS, ALBANY, N.Y. AND ARE TO BE MAINTAINED IN THE FIELD BY THE CONTRACTOR.
- 8 - EXIST LOCATIONS OF WATER MAINS, SEWER LINES, SUTTER LINES AND OTHER EXISTING UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL MAINTAIN BUT THAT EACH SEWER SHALL BE MAINTAINED IN THE FIELD BY THE CONTRACTOR.
- 9 - IF ANY UNDESIRABLE INTERFERENCE SHOULD OCCUR BETWEEN AN EXISTING AND A PROPOSED UTILITY THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE ENGINEER MAY BE ADVISED.
- 10 - THE CONTRACTOR MUST SAFELY MAINTAIN THE SITE, AND MAINTAIN THE CURTAIN DEAN AND MAINTAIN THE CURTAIN DEAN. THE CONTRACTOR SHALL MAINTAIN THE CURTAIN DEAN AND MAINTAIN THE CURTAIN DEAN.
- 11 - AS EXIST LOCATIONS ARE TO BE MAINTAINED BY THE ENGINEER TO THE PRESENTMENT OF THE CURTAIN DEAN, THE CONTRACTOR SHALL MAINTAIN THE CURTAIN DEAN AND MAINTAIN THE CURTAIN DEAN.
- 12 - The CURTAIN DEAN is to be installed in the field. The CURTAIN DEAN is to be installed in the field. The CURTAIN DEAN is to be installed in the field.

CONSULTANTS & ENGINEERS, INC.	
1000 BROADWAY, NEW YORK, N.Y. 10004	
PROJECT: HILL TOP RESTAURANT - ROUTE 6 - BETHEL, CONNECTICUT (SEE SITE PLAN)	
DESIGNED BY: J. H. HARRIS, JR.	
CHECKED BY: J. H. HARRIS, JR.	
DATE: 10/1/78	
SCALE: 1/8" = 1'-0"	
78045	



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Map  
data  
©2023  
Google



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	2 mile	5 mile	10 mile
2023 Population	17,934	118,495	225,785
2028 Population Projection	18,298	120,486	229,644
Annual Growth 2010-2023	0.7%	0.5%	0.5%
Annual Growth 2023-2028	0.4%	0.3%	0.3%
Median Age	42.9	40.9	43.2
Bachelor's Degree or Higher	40%	35%	42%
U.S. Armed Forces	8	78	83

## Population By Race

	2 mile	5 mile	10 mile
White	14,839	95,722	192,688
Black	883	9,424	12,598
American Indian/Alaskan Native	87	947	1,300
Asian	1,759	8,721	13,514
Hawaiian & Pacific Islander	14	108	187
Two or More Races	352	3,574	5,497
Hispanic Origin	2,458	27,923	35,728

## Housing

	2 mile	5 mile	10 mile
Median Home Value	\$337,318	\$347,561	\$375,467
Median Year Built	1980	1970	1973

## Households

	2 mile	5 mile	10 mile
2010 Households	6,325	39,767	76,920
2023 Households	6,816	42,398	82,504
2028 Household Projection	6,941	43,099	84,017
Annual Growth 2010-2023	0.7%	0.5%	0.5%
Annual Growth 2023-2028	0.4%	0.3%	0.4%
Owner Occupied Households	5,517	29,093	64,530
Renter Occupied Households	1,424	14,006	19,487
Avg Household Size	2.6	2.7	2.6
Avg Household Vehicles	2	2	2
Total Specified Consumer Spending (\$)	\$269.2M	\$1.5B	\$3.3B

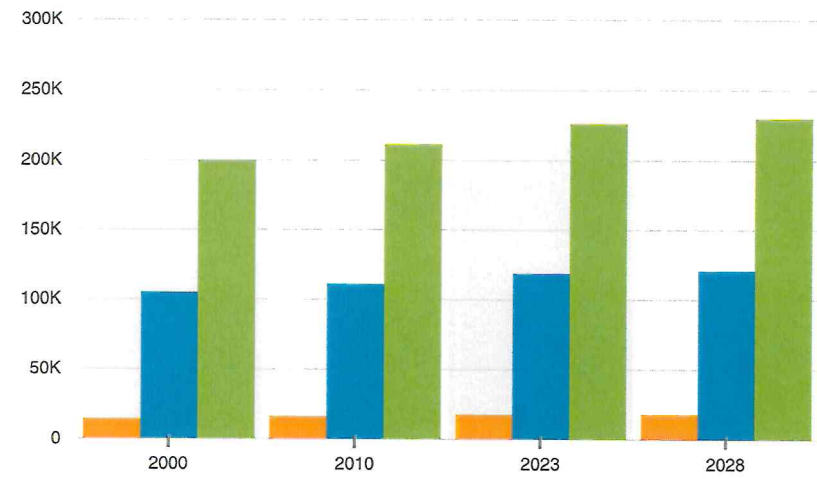
## Income

	2 mile	5 mile	10 mile
Avg Household Income	\$130,855	\$111,661	\$128,958
Median Household Income	\$105,731	\$86,156	\$101,983
< \$25,000	810	5,989	9,301
\$25,000 - 50,000	555	5,673	9,717
\$50,000 - 75,000	995	7,240	11,814
\$75,000 - 100,000	864	5,146	9,674
\$100,000 - 125,000	807	4,769	9,399
\$125,000 - 150,000	694	3,629	7,505
\$150,000 - 200,000	841	4,430	9,814
\$200,000+	1,252	5,521	15,279

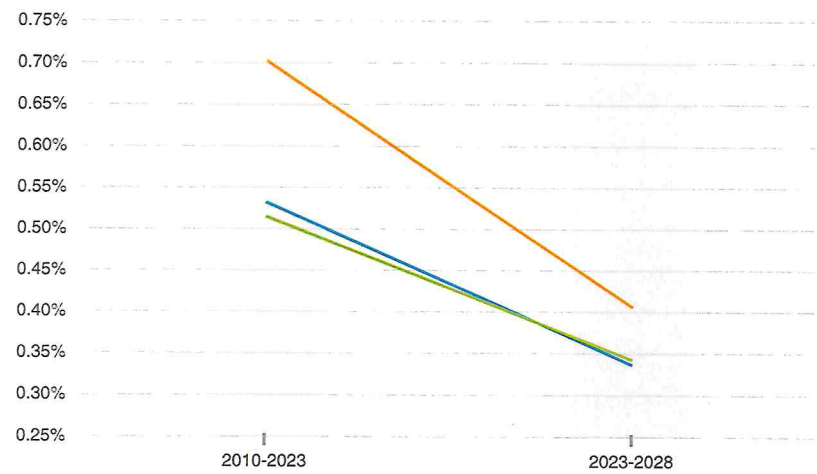
Population



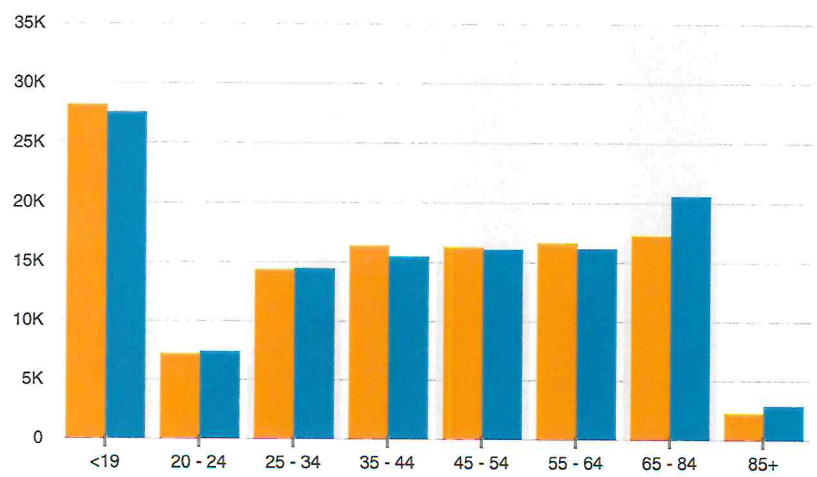




2 mile Population  
5 mile Population  
10 mile Population  
Annual Population Growth

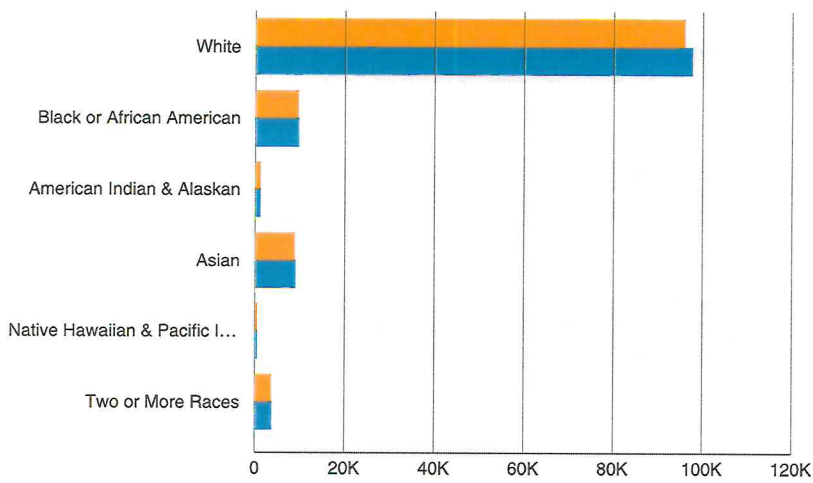


2 mile  
5 mile  
10 mile  
Population By Age

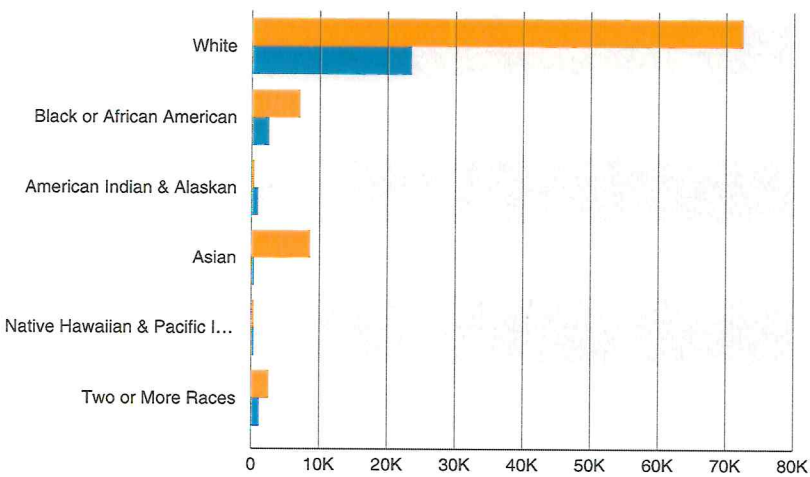


5 mile 2023 Population  
5 mile 2028 Population  
Population By Race

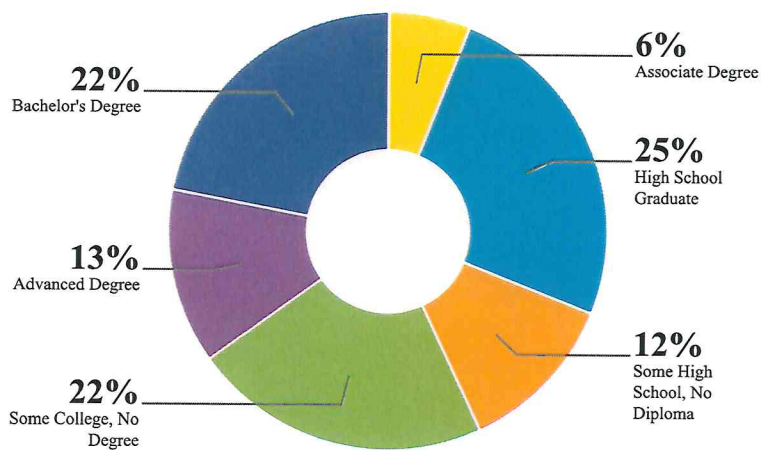




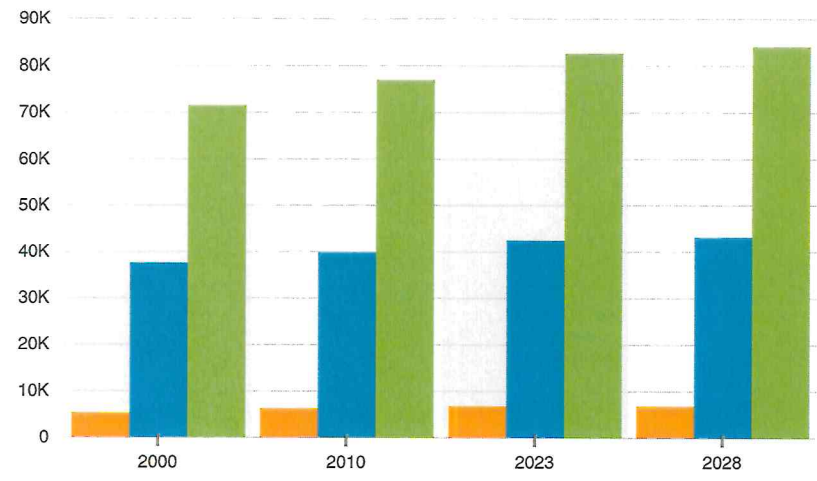
5 mile 2023 Population  
 5 mile 2028 Population  
**Population By Race & Hispanic Origin**  
 ≡  
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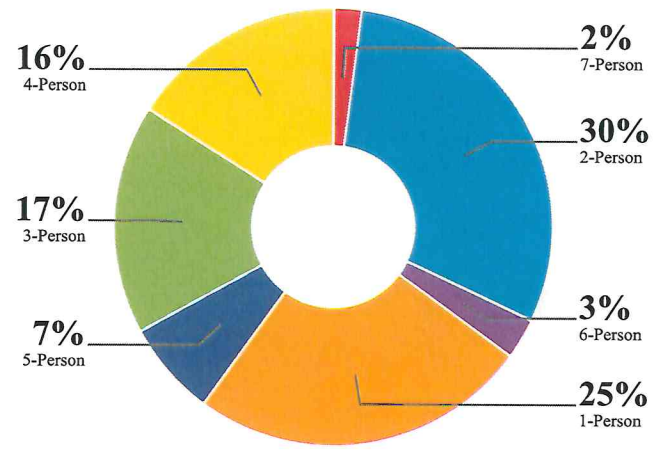
5 mile 2023 Non-Hispanic Latino  
 5 mile 2028 Non-Hispanic Latino  
**Educational Attainment**  
 ≡  
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5 mile 2023 % of Population

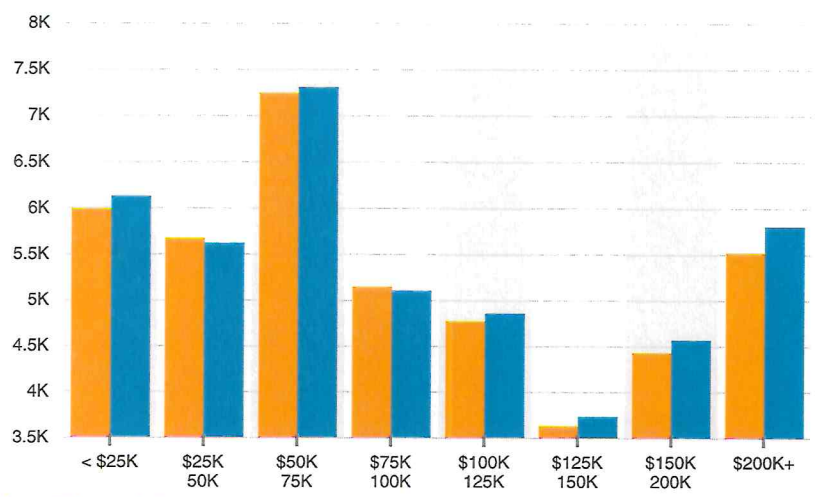


2 mile  
5 mile  
10 mile  
Household Size  
≡  
🔗



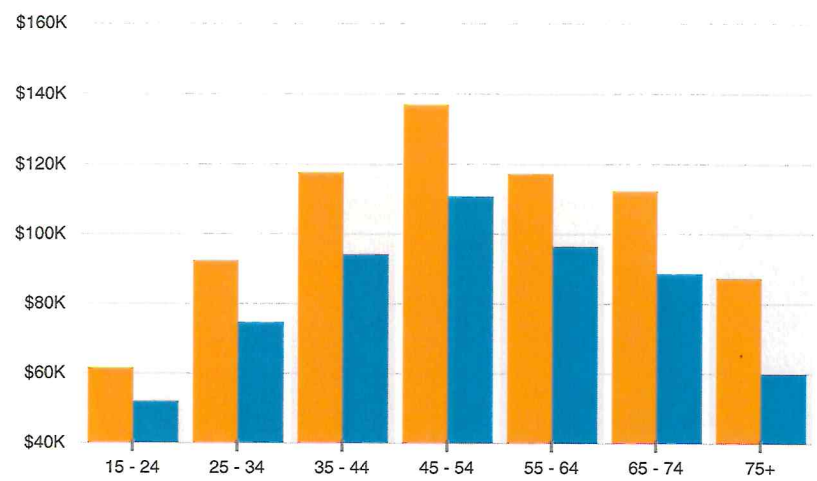
Household Income  
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5 mile 2023 % of Households



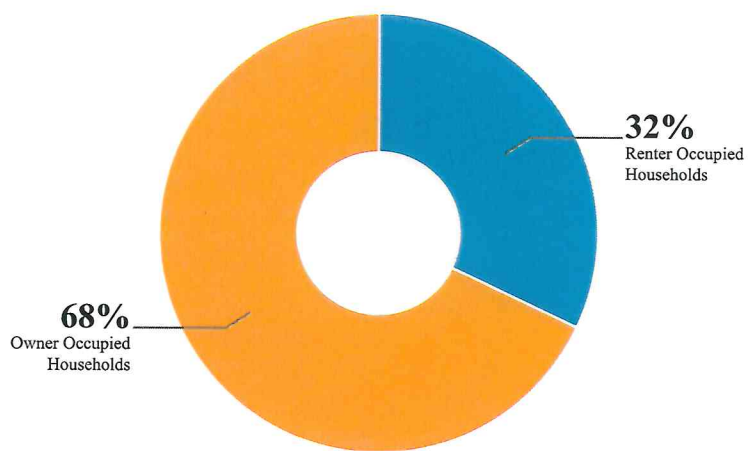
5 mile 2023 Households  
5 mile 2028 Households  
Household Income By Age  
≡  
🔗





5 mile 2023 Avg Household Income  
5 mile 2023 Median Household Income

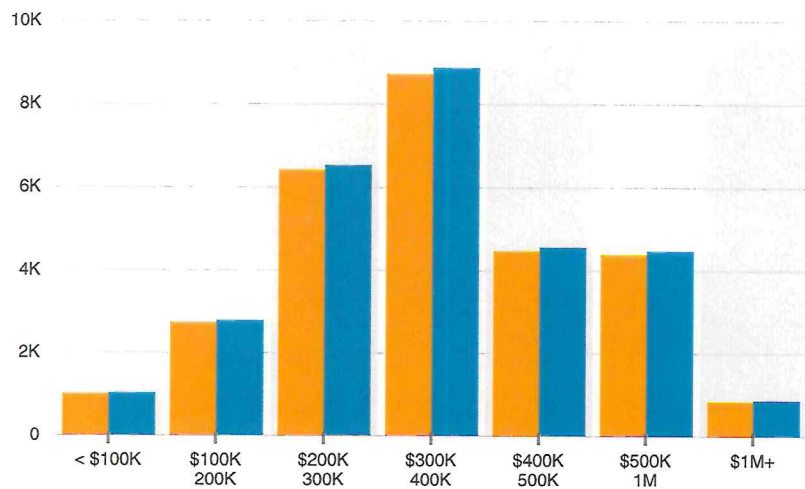
Housing Occupancy



Home Values



5 mile 2023 Housing Units

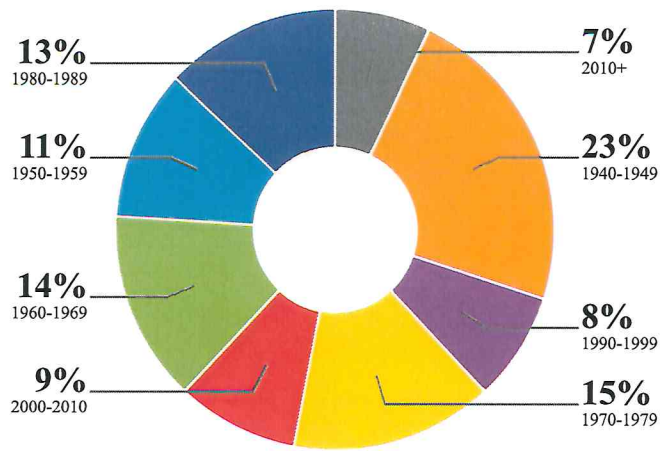


5 mile 2023 Households

5 mile 2028 Households

Homes By Year Built

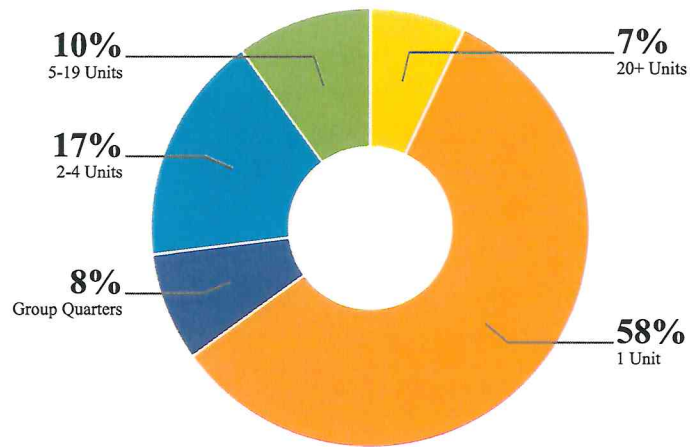




## Housing Type



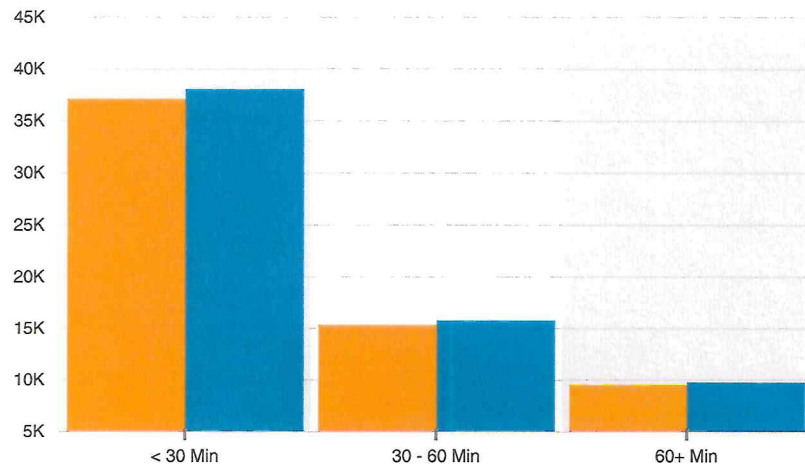
5 mile 2023 Housing Units



## Population Travel To Work



5 mile 2023 Housing Units



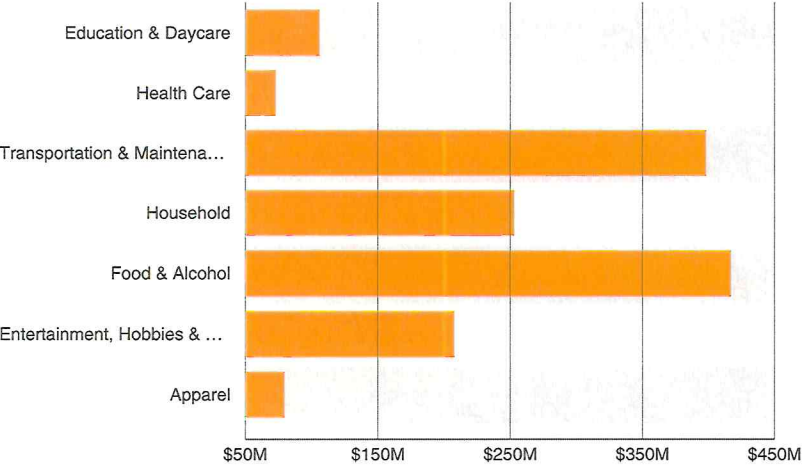
5 mile 2023 Population  
5 mile 2028 Population

## Daytime Employment

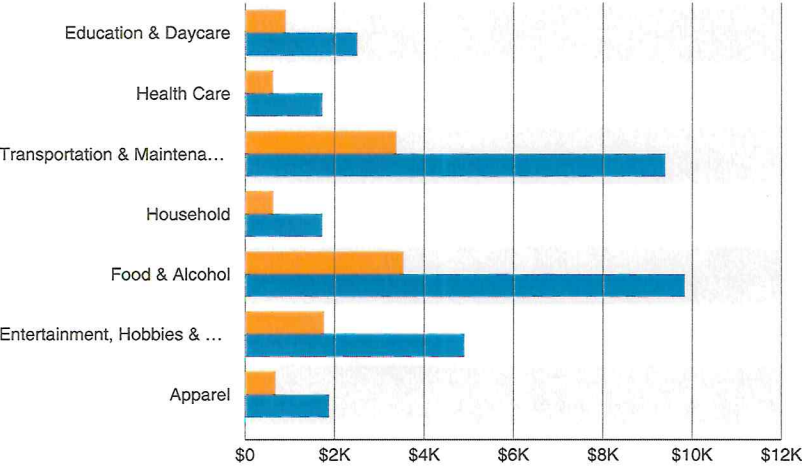


Radius	2 mile			5 mile			10 mile		
	Employees	Businesses	Employees Per Business	Employees	Businesses	Employees Per Business	Employees	Businesses	Employees Per Business
Service-Producing Industries	15,308	1,486	10	52,668	7,109	7	93,635	11,866	8
Trade Transportation & Utilities	5,207	285	18	10,509	1,041	10	20,452	1,885	11
Information	343	22	16	1,316	114	12	3,198	246	13
Financial Activities	1,028	166	6	3,780	715	5	7,275	1,286	6
Professional & Business Services	1,285	198	6	8,131	1,262	6	13,462	2,259	6
Education & Health Services	3,623	526	7	15,698	2,436	6	26,235	3,533	7
Leisure & Hospitality	1,628	125	13	6,254	541	12	11,002	986	11
Other Services	1,525	152	10	4,289	830	5	7,870	1,361	6
Public Administration	669	12	56	2,691	170	16	4,141	310	13
Goods-Producing Industries	2,615	233	11	8,600	1,277	7	18,702	2,122	9
Natural Resources & Mining	19	4	5	87	15	6	247	53	5
Construction	667	140	5	3,938	1,007	4	6,917	1,622	4
Manufacturing	1,929	89	22	4,575	255	18	11,538	447	26
Total	17,923	1,719	10	61,268	8,386	7	112,337	13,988	8

Consumer Spending



5 mile Households  
Per Capita & Avg Household Spending



5 mile 2023 Per Capita  
5 mile 2023 Avg Households

Consumer Spending Details

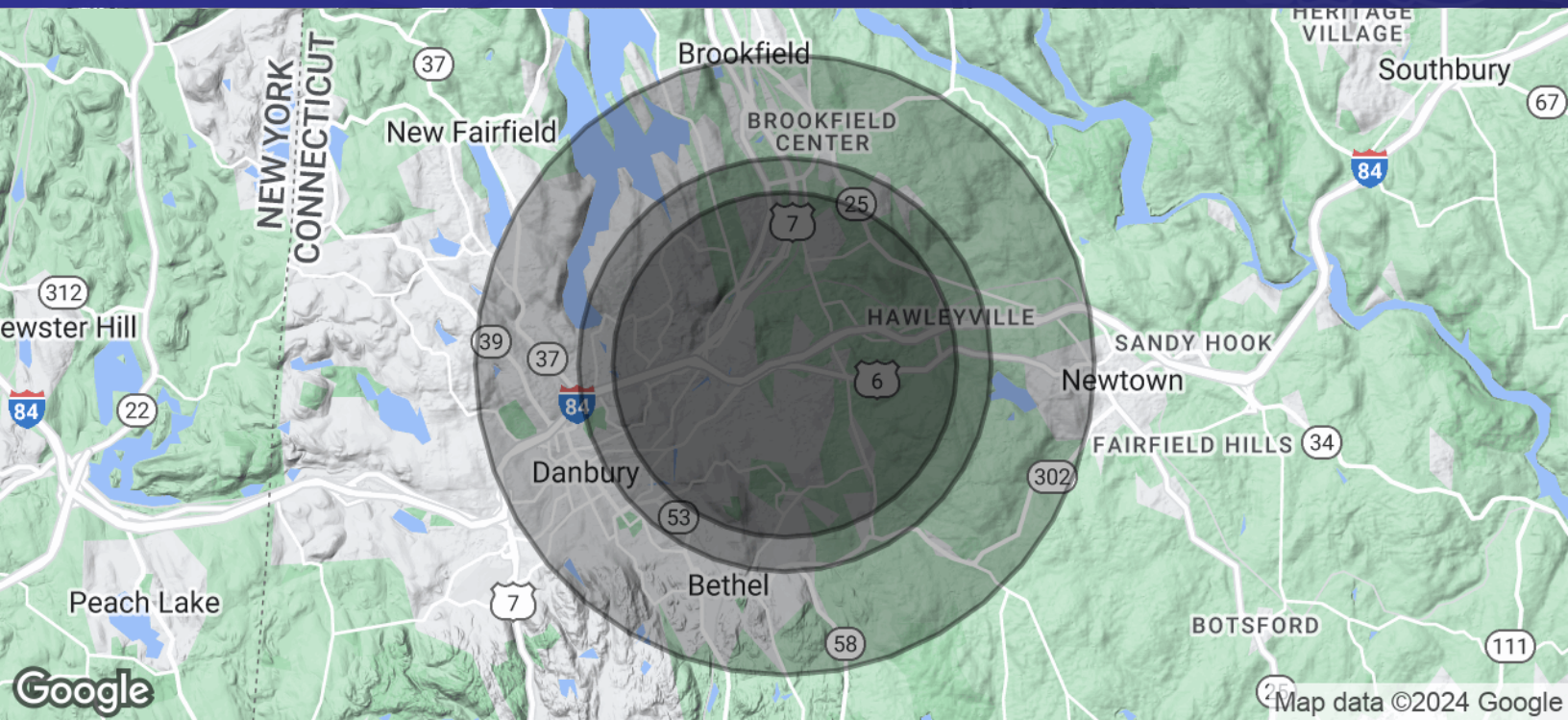
Radius	2 mile			5 mile			10 mile		
	Total Spending	Avg Household	Per Capita	Total Spending	Avg Household	Per Capita	Total Spending	Avg Household	Per Capita
✓ Expand All									
✓ Apparel	\$13,345,582	\$1,958	\$744	\$79,045,190	\$1,864	\$667	\$161,166,165	\$1,953	\$714
✓ Entertainment, Hobbies & Pets	\$36,914,126	\$5,416	\$2,058	\$207,094,443	\$4,885	\$1,748	\$449,065,619	\$5,443	\$1,989
✓ Food & Alcohol	\$71,015,761	\$10,419	\$3,960	\$416,267,549	\$9,818	\$3,513	\$859,926,733	\$10,423	\$3,809
✓ Household	\$46,257,911	\$6,787	\$2,579	\$252,527,402	\$5,956	\$2,131	\$562,105,756	\$6,813	\$2,490
✓ Transportation & Maintenance	\$69,457,476	\$10,190	\$3,873	\$397,589,829	\$9,378	\$3,355	\$828,153,989	\$10,038	\$3,668
✓ Health Care	\$12,642,543	\$1,855	\$705	\$72,342,108	\$1,706	\$611	\$157,387,449	\$1,908	\$697
✓ Education & Daycare	\$19,543,380	\$2,867	\$1,090	\$105,323,573	\$2,484	\$889	\$243,217,964	\$2,948	\$1,077
Total Specified Consumer Spending (\$)	\$269,176,779	\$39,492	\$15,009	\$1,530,190,094	\$36,091	\$12,914	\$3,261,023,675	\$39,526	\$14,443

## Traffic

Collection Street	Cross Street	Traffic Volume
Stony Hill Road	Terrace Dr E	12,911
Stony Hill Rd	Benedict Rd E	16,801
Stony Hill Road	Sand Hill Rd E	14,700
Stony Hill Rd	Sand Hill Rd E	16,327
Yankee Expressway	I- 84 SW	82,501
Stony Hill Rd	Hawleyville Rd W	11,642
S Main St	Northfield Rd NE	22,503
Stony Hill Rd	Newtown Rd SW	41,299
Hawleyville Road	McNeil Rd NE	1,869
I- 84	Stony Hill Rd NE	48,014



**FOR SALE // 12-14 STONY HILL RD, BETHEL CT**



POPULATION	2.5 MILES	3 MILES	4.5 MILES
Total Population	29,764	47,649	99,746
Average Age	41.7	41.0	40.9
Average Age (Male)	38.1	38.1	39.4
Average Age (Female)	44.1	42.6	41.7

HOUSEHOLDS & INCOME	2.5 MILES	3 MILES	4.5 MILES
Total Households	11,563	18,344	38,947
# of Persons per HH	2.6	2.6	2.6
Average HH Income	\$102,532	\$98,427	\$95,008
Average House Value	\$309,267	\$300,686	\$284,130

\* Demographic data derived from 2020 ACS - US Census



**MICK CONSALVO**

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